

RECAPP Facility Evaluation Report

Alberta Health Services-Central



Centennial Centre - Geriatric Psychiatry Centre

B0636V

Ponoka

Facility Details

Building Name: Centennial Centre - Geriatric
Address: 46 Street (South Of Highwa
Location: Ponoka

Building Id: B0636V
Gross Area (sq. m): 14,054.00
Replacement Cost: \$77,142,406
Construction Year: 2002

Evaluation Details

Evaluation Company: Golder Associates Ltd.
Evaluation Date: December 17 2012
Evaluator Name: Tobias Link, Tai Mahmuti

Total Maintenance Events Next 5 years: **\$40,400**
5 year Facility Condition Index (FCI): **0.05%**

General Summary:

The building is a single storey structure with a partial basement and consists of multiple wings connected with enclosed hallways.

The building was constructed in 2002 and has a approximately gross floor area of 14,054m².

No additions have been built since its original construction.

The building is in overall acceptable condition.

Structural Summary:

The building is provided with cast-in-place (CIP) concrete pile and grade beam foundations and a slab on grade in the basement rooms and the main floor. The suspended floor is reinforced concrete.

The superstructure of the building consists of a structural steel frame.

The roof structural frame is composed of steel support beams and pre-engineered metal roof trusses. The roof deck is metal.

No work is recommended within the next five years of this report.

The building structural elements are in overall acceptable condition.

Envelope Summary:

The exterior cladding is composed of an exterior insulation and finish system for the majority of the building, brick veneer . Metal cladding is provided on the mezzanine mechanical penthouse.

Non-operable aluminum insulated storefront windows are provided around the entire building. The main entrance door is a aluminum automatic sliding door and the secondary entrance/exit doors are swinging aluminum storefront doors with glazing and side lights. All emergency doors are provided with standard painted metal utility doors.

The roof is provided with metal roofing panels on the sloped roof sections and a built up bituminous roof on the flat roof sections.

Metal soffits are provided above the emergency exits and the parapet is provided with metal cap all around the building.

Work anticipated within the next 5 Years of this report is to replace the windows, to address the mold growth issues and provide a barrier free access to the building.

The buildings envelope elements are in overall acceptable condition.

Interior Summary:

The majority of the interior flooring consists of resilient sheet flooring. Ceramic and quarry tile flooring is only provided in the food service areas and in the tubrooms and unfinished concrete flooring is provided in the basement.

The interior walls are mainly metal framed with painted gypsum board. Ceramic wall tiles are provided in the wash and bath rooms and in the food service area.

The majority of the ceilings is a mixture of painted drywall and acoustic T-Bar ceiling tiles. Unpainted concrete ceilings are provided in the basement.

Wood doors are mostly provided throughout the building. Metal fire doors are provided at the stairwells and to divide the area separations.

No work is required within five years of this report.

The buildings interior elements are in overall acceptable condition.

Mechanical Summary:

The building is provided with stainless steel sinks in counter tops throughout. Service sinks provided in the house keeping rooms are plastic and vitreous china. All washrooms are provided with floor mounted tankless vitreous china flush valve toilets and enamel iron lavatories are either equipped with showers or one enamel iron bath tub. Some tub rooms are also provided in the building.

The building is heated using natural gas fired hot water boilers or natural gas fired air handling units. The heat from the air handlers gets distributed via a sheet metal duct system throughout the building and the heat from the boilers gets distributed using a hot water system and ceiling mounted radiators. Cooling is provided from the roof top mounted chillers via the air handling units.

The hot water boilers are also providing the domestic hot water via heat exchangers and stored in insulated storage tanks.

The building is sprinklered and fire extinguishers in cabinets are provided throughout.

No work is recommended within five years of this report.

The buildings mechanical systems are in overall acceptable condition.

Electrical Summary:

The electrical supply is fed via underground conductors from an 1500 KVA on site pad-mounted exterior transformer via a 2000A main switch board to several secondary transformers located in different locations of the building. In case of a power outage, emergency power is supplied via a 325 KVA diesel generator located in the generator room.

225 A electrical sub panels for 600/347 V and 208/120 V are provided throughout the building. A 141 A, 600 V power factor correction unit is provided for the X-Ray equipment.

Lighting in the building is mainly provided by T-5 pot and lay-in fluorescent light fixtures. Emergency lighting is provided by battery powered emergency lights in the mechanical rooms and by built in fluorescent fixtures throughout the rest of the building. The building exterior is equipped with HPS fixtures throughout.

A EST fire alarm system connected to the BMS system is installed throughout the building.

Security systems as door answering systems and card readers are provided on the building entrance doors as well as on the internal access doors to the particular units.

Other electronic systems as telephone, television, nurse call systems etc. are provided in the building.

No actions are anticipated to be required within 5 years of writing this report.

The electric elements are in overall acceptable condition.

Rating Guide

Condition Rating	Performance
1 - Critical	Unsafe, high risk of injury or critical system failure.
2 - Poor	Does not meet requirements, has significant deficiencies. May have high operating/maintenance costs.
3 - Marginal	Meets minimum requirements, has significant deficiencies. May have above average operating maintenance costs.
4 - Acceptable	Meets present requirements, minor deficiencies. Average operating/maintenance costs.
5 - Good	Meets all present requirements. No deficiencies.
6 - Excellent	As new/state of the art, meets present and foreseeable requirements.

S1 STRUCTURAL

A1020 Special Foundations*

The building is provided with CIP concrete pile and grade beam foundations.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

A1030 Slab on Grade*

The building is provided with a CIP concrete slab on grade throughout.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

A2020 Basement Walls (& Crawl Space)*

The building is provided with cast-in-place concrete basement walls.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1010.01 Floor Structural Frame (Building Frame)*

The buildings structural frame is composed of structural steel columns and structural steel beams.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1010.02 Structural Interior Walls Supporting Floors (or Roof)*

Concealed, but most likely structural load bearing metal studs and steel columns.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1010.03 Floor Decks, Slabs, and Toppings*

Composed of a reinforced cast-in-place concrete slab.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1010.05 Mezzanine Construction*

A structural steel framed construction is provided for the mezzanines.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1010.09 Floor Construction Fireproofing*

The floor is constructed of non-combustible material.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1010.10 Floor Construction Firestopping*

All floor penetrations are sealed with fire caulking.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1020.01 Roof Structural Frame* - Flat Roof Sections

Metal roof trusses are provided as the structural roof framing.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1020.01 Roof Structural Frame* - Sloped Roof Sections

The frame of the pitched roof sections are composed of structural steel.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1020.02 Structural Interior Walls Supporting Roofs*

Concealed, but most likely composed of load bearing metal studs and steel columns.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1020.03 Roof Decks, Slabs, and Sheathing*

Concealed, but most likely composed of a metal roof deck.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1020.04 Canopies*

A wood framed canopy sitting on cast-in-place concrete columns is provided on the main entrance and a metal framed canopy is provided on the mechanical penthouse.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1020.06 Roof Construction Fireproofing*

The roof construction is composed of non-combustible materials.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B1020.07 Roof Construction Firestopping*

All roof penetrations are sealed with fire caulking.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

S2 ENVELOPE

B2010.01.02.01 Brick Masonry: Ext. Wall Skin*

A masonry brick veneer exterior wall skin is provided at the upper half of the building exterior.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B2010.01.02.02 Concrete Block: Ext. Wall Skin*

Split face concrete masonry unit (CMU) veneer is provided on the lower half of the exterior walls around the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B2010.01.05 Exterior Insulation and Finish Systems (EIFS)*

A exterior insulation and finish system is provided at some of the upper half of the exterior of the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B2010.01.06.03 Metal Siding**

The mezzanine mechanical room is provided with metal siding.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace metal siding. (~150m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$59,600	Unassigned

Updated: MAR-13

B2010.01.09 Expansion Control: Ext. Wall*

Expansion joints are provided in the buildings exterior.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B2010.01.11 Joint Sealers (caulking): Ext. Wall**

Caulked joints are provided at material transitions, wall openings and expansion joints.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	20	MAR-13

Event: Replace Joint Sealers (~3750m)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2022	\$120,100	Unassigned

Updated: MAR-13

B2010.01.99 Other Exterior Wall Skin*

Some exterior parging is provided where the grade goes below the CMU split face base.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B2010.04 Exterior Wall Interior Skin*

The exterior walls interior skin is provided with gypsum board throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B2010.05 Parapets*

Concealed. A parapet is provided around the building with prefinished metal cap.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B2010.06 Exterior Louvers, Grilles, and Screens*

Prefinished exterior louvers are provided on the mezzanine mechanical room.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B2010.09 Exterior Soffits*

A wood soffit is provided on the main entrance canopy and metal soffits are provided on the emergency exits.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B2020.02 Storefronts: Windows**

Aluminum store front windows are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
3 - Marginal	2002	40	MAR-13

Event: Replace Aluminum Storefront Windows (~400m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$438,400	Unassigned

Updated: MAR-13

Event: Replace damaged windows. (~30m²)

Concern:

Some leakage problems have been reported on the windows. It has also been reported that some window glazings are shifting in their frame.

Recommendation:

Replace damaged windows.

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Failure Replacement	2013	\$32,900	Medium

Updated: MAR-13

B2030.01.01 Aluminum-Framed Storefronts: Doors**

Aluminum storefront doors set in aluminum frames with sidelites are provided on the patio exits.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Aluminum Storefront Doors (4 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$40,200	Unassigned

Updated: MAR-13

B2030.01.06 Automatic Entrance Doors**

Automatic aluminum sliding doors set in aluminum frames with side lights are provided on the main entrance.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Automatic Sliding Door (2 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$45,400	Unassigned

Updated: MAR-13

B2030.02 Exterior Utility Doors**

Painted metal utility doors in metal frames with glazing are provided on the emergency exits.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace Utility Doors (20 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$21,800	Unassigned

Updated: MAR-13

B3010.01 Deck Vapour Retarder and Insulation*

Concealed, but no problems have been reported.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

B3010.04.01 Built-up Bituminous Roofing (Asphalt & Gravel)**

Built-up membrane roofing is provided at the flat roof sections.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	25	MAR-13

Event: Replace Membrane Roofing (~10,000 m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2027	\$1,520,300	Unassigned

Updated: MAR-13

B3010.07 Sheet Metal Roofing**

Prefinished standing seam metal roofing is provided on the sloped roof sections of the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace Sheet Metal Roofing (~4200m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$1,159,200	Unassigned

Updated: MAR-13

B3010.08.02 Metal Gutters and Downspouts**

Metal gutters and downspouts are provided on some of the pitched roof sections.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Metal Gutters And Dowspouts (~200m)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$5,800	Unassigned

Updated: MAR-13

S3 INTERIOR

C1010.01 Interior Fixed Partitions*

Interior partitions are metal framed with gypsum wall board (GWB) is provided throughout the building. Some walls are provided with portions of glass block.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C1010.03 Interior Operable Folding Panel Partitions**

An operable partition wall is provided in the dining rooms.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Operable Partitions (~60 m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$75,400	Unassigned

Updated: MAR-13

C1010.05 Interior Windows*

Interior single pane painted metal windows are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C1010.07 Interior Partition Firestopping*

Interior fire stopping is provided using fire caulking on wall penetrations.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C1020.01 Interior Swinging Doors (& Hardware)*

Interior doors are both wood and painted metal in metal frames with standard commercial hardware. Some doors are provided with glazing.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C1020.03 Interior Fire Doors*

Interior fire doors are provided throughout the building at mechanical rooms and area separations.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C1020.07 Other Interior Doors*

A coiling metal door is provided at the kitchen, bank, and cafe. Wood roll up door is provided at the Health Centre.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	0	0	MAR-13

C1030.01 Visual Display Boards**

The building is provided with tack and white boards throughout.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	20	MAR-13

Event: Replace Tack Boards (50 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2022	\$12,500	Unassigned

Updated: MAR-13

Event: Replace White Boards (55 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2022	\$27,500	Unassigned

Updated: MAR-13

C1030.02 Fabricated Compartments (Toilets/Showers)**

Prefinished fabricated metal washroom compartments are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Washroom Compartments (8 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$10,400	Unassigned

Updated: MAR-13

C1030.05 Wall and Corner Guards*

Corner guards and wood wall guards functioning also as a kind of hand rail are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C1030.06 Handrails*

Prefinished metal handrails are provided at the interior ramp.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	0	0	MAR-13

C1030.08 Interior Identifying Devices*

Directories, plaques and other interior signage is provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C1030.10 Lockers**

Prefinished metal lockers are provided in the staff change rooms.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Lockers (55 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$29,100	Unassigned

Updated: MAR-13

C1030.12 Storage Shelving*

Metal and wood storage shelving is provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	0	0	MAR-13

C1030.14 Toilet, Bath, and Laundry Accessories*

Standard toilet and bath accessories are provided in the wash and change rooms. Includes mirrors, grab bars, soap, toilet and paper towel dispensers, and trash bins.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C2010 Stair Construction*

Cast-in-place concrete stairs are provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C2020.08 Stair Railings and Balustrades*

Painted steel handrails are provided for the stairs.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C2020.11 Other Stair Finishes*

CIP concrete stairs with a anti-slip strip are provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C3010.01 Concrete Wall Finishes (Unpainted)*

CIP concrete and CMU walls are provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C3010.02 Wall Paneling**

Some wood wall paneling is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace wall panelling. (~30m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$3,500	Unassigned

Updated: MAR-13

C3010.04 Gypsum Board Wall Finishes (Unpainted)*

GWB is provided in throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C3010.06 Tile Wall Finishes**

Ceramic wall tiles are provided in the washrooms and kitchen of the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace Wall Tiles (~1250 m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$340,100	Unassigned

Updated: MAR-13

C3010.11 Interior Wall Painting*

Painted CMU and GWB walls are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C3010.12 Wall Coverings*

Vinyl wall covering is provided in the dining area.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C3020.02 Tile Floor Finishes**

Ceramic floor tiles are provided in the tub rooms, quarry tile is provided in the kitchen.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	50	MAR-13

Event: Replace Ceramic Floor Tiles (~100 m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2052	\$19,200	Unassigned

Updated: MAR-13

Event: Replace Quarry Floor Tiles (~50 m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2052	\$15,500	Unassigned

Updated: MAR-13

C3020.07 Resilient Flooring**

Resilient sheet flooring is provided in the majority of the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	20	MAR-13

Event: Replace Resilient Sheet Flooring (~ 13000m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2022	\$1,144,200	Unassigned

Updated: MAR-13

C3020.08 Carpet Flooring**

Carpet is provided in some administration areas.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	15	MAR-13

Event: Replace Carpet Flooring (~400 m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2017	\$32,100	Unassigned

Updated: MAR-13

C3030.01 Concrete Ceiling Finishes (Unpainted)*

Concrete ceilings are provided in the basement of the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

C3030.04 Gypsum Board Ceiling Finishes (Unpainted)*

Gypsum ceilings and soffits are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	0	0	MAR-13

C3030.06 Acoustic Ceiling Treatment (Susp. T-Bar)**

Acoustic T-Bar ceiling is provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	25	MAR-13

Event: Replace Acoustic T-Bar Ceiling (~8000 m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2027	\$409,700	Unassigned

Updated: MAR-13

C3030.07 Interior Ceiling Painting*

Painted interior GB ceilings are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D1010.01.02 Hydraulic Passenger Elevators**

Two hydraulic passenger elevators with stainless steel cabs are provided within the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Hydraulic Elevators (2 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$194,900	Unassigned

Updated: MAR-13

S4 MECHANICAL

D2010.04 Sinks**

Plastic and vitreous china service sinks are provided throughout the building in the house keeping rooms. The kitchens and most treatment rooms are provided with stainless steel sinks.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Service Sinks (7 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$18,600	Unassigned

Updated: MAR-13

Event: Replace Stainless Steel Sinks (40 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$74,600	Unassigned

Updated: MAR-13

D2010.05 Showers**

Showers are provided in some of the patients washrooms and in the staff changing areas.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Shower Faucets (11 sets)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$6,000	Unassigned

Updated: MAR-13

D2010.06 Bathtubs**

Standard enamel iron and special hospital lift bath tubs are provided in the particular units.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Lifecycle Replacement - Lift Bath Tubs (5 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$41,500	Unassigned

Updated: MAR-13

Event: Replace Bath Tubs (5 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$11,700	Unassigned

Updated: MAR-13

D2010.08 Drinking Fountains/Coolers**

Stainless steel electric drinking fountains are provided in the hallways.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	35	MAR-13

Event: Replace Drinking Fountains (8 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2037	\$30,500	Unassigned

Updated: MAR-13

D2010.10 Washroom Fixtures (WC, Lav, Urnl)**

Floor mounted tankless vitreous china flush valve toilets and enamel iron lavatories are provided throughout the building. Some wall hung vitreous china lavatories and urinals with automatic flush valves are provided in certain washrooms.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	35	MAR-13

Event: Replace Lavatories (98 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2037	\$170,000	Unassigned

Updated: MAR-13

Event: Replace Toilets (98 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2037	\$207,400	Unassigned

Updated: MAR-13

Event: Replace Urinals (4 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2037	\$8,600	Unassigned

Updated: MAR-13

D2020.01.01 Pipes and Tubes: Domestic Water*

The domestic water pipes have been reported to be a mixture of copper type "L" and PVC lines.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D2020.01.02 Valves: Domestic Water**

Shut off valves are provided on the plumbing fixtures and on the water mains.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace Shut Off Valves (~150 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$197,000	Unassigned

Updated: MAR-13

D2020.01.03 Piping Specialties (Backflow Preventers)**

Backflow preventors are provided for the boiler and sprinkler system.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	20	MAR-13

Event: Replace Backflow Preventers (2 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2022	\$12,100	Unassigned

Updated: MAR-13

D2020.02.02 Plumbing Pumps: Domestic Water**

Several Grundfos domestic water circulation pumps (~1 HP) are provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	20	MAR-13

Event: Replace Pumps (6 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2022	\$32,800	Unassigned

Updated: MAR-13

D2020.02.03 Water Storage Tanks**

Two Westeel insulated steel hot water tanks (~ 1250 L each) are provided in the mechanical room.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Storage tanks (2 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$7,800	Unassigned

Updated: MAR-13

D2020.02.04 Domestic Water Conditioning Equipment**

A domestic water conditioning system is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	20	MAR-13

Event: Replace Water Conditioning System (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2022	\$25,000	Unassigned

Updated: MAR-13

D2020.03 Water Supply Insulation: Domestic*

The domestic water supply equipment and piping is insulated.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D2030.01 Waste and Vent Piping*

Concealed, likely PVC and cast iron piping provided.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D2030.02.04 Floor Drains*

Floor drains are provided in the laundry rooms, kitchen, tub rooms, and washrooms.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D2030.03 Waste Piping Equipment*

Sump pumps are provided and are connected to the BMS system. A grease trap is provided in the kitchen. No problems have been reported.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D2040.01 Rain Water Drainage Piping Systems*

Concealed. No issues reported.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	0	0	MAR-13

D2040.02.04 Roof Drains*

Roof drains are installed on the flat roof sections. Mostly concealed by snow, but no problems have been reported.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D2090.16 Medical Air System*

A medical air system is provided in an part of the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D3010.01 Oil Supply Systems (Fuel, Diesel)*

A diesel supply system with a 1135 Litre diesel tank is provided for the emergency generator.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D3020.01.01 Heating Boilers & Accessories: Steam**

Two Cleaver Brooks FLX 200 (8,000 MBTU) natural gas fired steam boilers are provided in the mechanical room.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	35	MAR-13

Event: Replace Boilers (2 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2037	\$420,000	Unassigned

Updated: MAR-13

D3020.01.03 Chimneys (& Comb. Air): Steam Boilers**

Galvanized sheet metal chimneys are provided for the steam boilers.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	35	MAR-13

Event: Replace Boiler Chimneys (~20m)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2037	\$14,500	Unassigned

Updated: MAR-13

D3020.01.04 Water Treatment: Steam Boilers*

A manual chemical feeder for the steam boilers is provided in the mechanical room.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D3030.06.02 Refrigerant Condensing Units**

Two Carrier 60 ton and one Carrier 20 ton chiller is provided on the roof.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	25	MAR-13

Event: Replace 20 ton Chiller (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2027	\$85,300	Unassigned

Updated: MAR-13

Event: Replace 60 ton Chiller (2 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2027	\$193,200	Unassigned

Updated: MAR-13

D3040.01.01 Air Handling Units: Air Distribution**

One natural gas fired Haakon 10,086 L/M and one natural gas fired Haakon 3,188 L/M units are provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Air Handling Unit (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$15,800	Unassigned

Updated: MAR-13

Event: Replace Air Handling Unit (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$22,300	Unassigned

Updated: MAR-13

D3040.01.04 Ducts: Air Distribution*

Galvanized sheet metal duct work is provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D3040.01.06 Air Terminal Units: Air Distribution (VAV/CV Box)**

VAV boxes for the air distribution system are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace VAV Boxes (~ 40 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$53,800	Unassigned

Updated: MAR-13

D3040.01.07 Air Outlets & Inlets: Air Distribution*

Prefinished air outlet and inlets are provided in the building ceilings and sidewalls.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D3040.03.01 Hot Water Distribution Systems**

A hot water distribution system including pumps is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace Hot Water Distribution System (for ~14,000 m² GFA)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$1,456,300	Unassigned

Updated: MAR-13

D3040.03.02 Chilled Water Distribution Systems**

Copper piping is provided throughout the building for chilled water distribution.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace ditribution piping. (~7000m²/gfa)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$410,000	Unassigned

Updated: MAR-13

D3040.04.01 Fans: Exhaust**

Exhaust fans are provided on the roof throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Exhaust Fans (for 10,000 m² GFA)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$192,100	Unassigned

Updated: MAR-13

D3040.04.03 Ducts: Exhaust*

Exhaust ducting is galvanized sheet metal throughout the building located in ceiling spaces.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	0	0	MAR-13

D3040.04.05 Air Outlets and Inlets: Exhaust*

Prefinished air inlets and outlets are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D3040.05 Heat Exchangers**

Shell and tube heat exchangers are provided in the mechanical room.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2010	30	MAR-13

Event: Replace Heat Exchangers (3 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2040	\$50,700	Unassigned

Updated: MAR-13

D3050.05.06 Unit Heaters**

Hot water unit heaters are provided in the mechanical room and penthouses.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Unit Heaters (4 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$24,800	Unassigned

Updated: MAR-13

D3050.05.08 Radiant Heating (Ceiling & Floor)**

Ceiling mounted radiators are provided along the exterior walls of the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace Ceiling Radiators (for ~10,000 m² GFA)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$614,400	Unassigned

Updated: MAR-13

D3060.02.01 Electric and Electronic Controls**

Electronic temperature controls are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace electric Thermostats (for ~10,000 m² GFA)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$32,100	Unassigned

Updated: MAR-13

D3060.02.05 Building Systems Controls (BMCS, EMCS)**

A BMS system is provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	20	MAR-13

Event: Replace BMS System (for ~14,000 m²)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2022	\$421,700	Unassigned

Updated: MAR-13

D4010 Sprinklers: Fire Protection*

A wet sprinkler system is provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D4030.01 Fire Extinguisher, Cabinets and Accessories*

Dry ABC-type fire extinguishers, mostly in fire extinguisher cabinets, are provided throughout the building. The inspection tags are indicating that they are checked annually.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

S5 ELECTRICAL

D5010.01.01 Main Electrical Transformers (Facility Owned)**

A pad mounted facility-owned 1500 KVA wet transformer is provided outside the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace Main Transformer (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$102,500	Unassigned

Updated: MAR-13

D5010.02 Secondary Electrical Transformers (Interior)**

Two Square D 75 KVA dry transformers are provided in the building. Two Square D 150 KVA dry transformers are provided in the building. One of each Square D 112½ KVA, Square D 30 KVA and 15KVA interior dry transformers are provided in the building. One Marcus 75 KVA dry transformer for the X-Ray equipment is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace Transformer 112½ KVA (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$26,400	Unassigned

Updated: MAR-13

Event: Replace Transformer 15 KVA (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$6,300	Unassigned

Updated: MAR-13

Event: Replace Transformer 150 KVA (2 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$32,000	Unassigned

Updated: MAR-13

Event: Replace Transformer 30 KVA (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$7,000	Unassigned

Updated: MAR-13

Event: Replace Transformer 75 KVA (2 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$21,600	Unassigned

Updated: MAR-13

D5010.03 Main Electrical Switchboards (Main Distribution)**

One Federal Pioneer 2000 A, 600/347 V Switchboard, one Federal Pioneer 600 A, 600/347 V central distribution panel and one Federal Pioneer 400 A, 600/347 V central distribution panel is provided in the electrical room.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	40	MAR-13

Event: Replace Central Distribution Panels (2 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$30,300	Unassigned

Updated: MAR-13

Event: Replace Switch Board (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2042	\$43,200	Unassigned

Updated: MAR-13

D5010.05 Electrical Branch Circuit Panelboards (Secondary Distribution)**

Several Federal Pioneer 225 and 150 A, max. 240 V sub-panels are provided throughout the building. Five Douglas relay panels are installed per unit.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Sub Panels (52 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$435,500	Unassigned

Updated: MAR-13

D5010.07.01 Switchboards, Panelboards, and (Motor) Control Centers**

Square D motor control centers are provided for the mechanical equipment.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Motor Control Centers (9 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$257,000	Unassigned

Updated: MAR-13

D5020.01 Electrical Branch Wiring*

The electrical branch wiring has been reported to be composed of copper in conduit. Concealed, but no problems have been reported.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5020.02.01 Lighting Accessories: Interior (Lighting Controls)*

The lights are controlled via relay panels.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5020.02.02.01 Interior Incandescent Fixtures*

Incandescent pendent fixtures are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5020.02.02.02 Interior Fluorescent Fixtures**

Linear T4 fluorescent light fixtures are provided throughout the building. T-5 fixtures are provided throughout the building (in 2 x 2 fixtures). Pot and cove lights are provided in public areas.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

Event: Replace Fluorecent Light Fixtures (for ~14054 m² GFA)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2032	\$1,363,800	Unassigned

Updated: MAR-13

D5020.02.03.01 Emergency Lighting Built-in*

Built-in emergency lights to designated fixtures are provided throughout the building and fed from the emergency generator.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5020.02.03.02 Emergency Lighting Battery Packs**

Emergency LED lighting battery packs are provided in the mechanical rooms and in the generator room.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	20	MAR-13

Event: Replace Emergency Lighting Battery Packs (~ 10 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2022	\$12,800	Unassigned

Updated: MAR-13

D5020.02.03.03 Exit Signs*

LED exit signs are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5020.03.01.04 Exterior H.P. Sodium Fixtures*

Building mounted HPS light fixtures are provided around the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5030.01 Detection and Fire Alarm**

An Edwards Systems Technology (EST) fire panel is provided in the basement. The system is equipped with pull stations, smoke and heat detectors and combined speakers with strobe lights.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	25	MAR-13

Event: Replace Fire Alarm System (for ~ 14,000 m² GFA)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2027	\$492,900	Unassigned

Updated: MAR-13

D5030.02.01 Door Answering*

A intercom door answering system is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5030.02.03 Security Access**

A card reader system for the exterior door and the different interior unit entrance doors is provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	25	MAR-13

Event: Replace Card Reader System (1 system)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2027	\$150,000	Unassigned

Updated: MAR-13

D5030.04.01 Telephone Systems*

The telephone system provided is a VoIP system.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5030.04.03 Call Systems**

A nurse call system is installed in the washrooms.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	25	MAR-13

Event: Replace Nurse Call System (~ 135 units)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2027	\$35,700	Unassigned

Updated: MAR-13

D5030.04.04 Data Systems*

The provided data system consists of CAT-5 cabling.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5030.06 Television Systems*

A cable television system is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

D5030.07 Other Communications and Security Systems*

A "Wander Guard" patient departure alert system is provided in one of the units.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2006	0	MAR-13

D5090.02 Packaged Engine Generator Systems (Emergency Power System)**

A Kohler 325 KVA diesel emergency power generator is provided in the generator room.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	35	MAR-13

Event: Replace Emergency Power Generator (1 unit)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2037	\$213,800	Unassigned

Updated: MAR-13

S6 EQUIPMENT, FURNISHINGS AND SPECIAL CONSTRUCTION

E1010.05.01 Barber and Beauty Shop Equipment*

Barber and beauty shop equipment is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

E1020.08 Medical Equipment*

Medical equipment is provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

E1020.09 Mortuary Equipment*

Mortuary Equipment is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

E1090.03 Food Service Equipment*

A full commercial kitchen and food service equipment is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

E1090.04 Residential Equipment*

Washers, dryers, dishwashers, and refrigeration are provided in the buildings staff areas.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

E1090.07 Athletic, Recreational, and Therapeutic Equipment*

Therapeutic equipment is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

E2010.02 Fixed Casework**

Plastic laminate countertops and plastic laminate base/upper cabinets and hospital casework are provided throughout the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	35	MAR-13

Event: Replace Fixed Casework (~14054m²/gfa)

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Lifecycle Replacement	2037	\$1,528,300	Unassigned

Updated: MAR-13

E2010.03.03 Shades*

Vinyl roller shades are provided on most exterior windows.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	30	MAR-13

E2020.05 Moveable Interior Landscaping*

Movable interior landscaping is provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

F1020.02 Special Purpose Rooms

A X-Ray room is provided within the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	50	MAR-13

S8 SPECIAL ASSESSMENT

K4010.01 Barrier Free Route: Parking to Entrance*

Designated barrier free parking stalls and curb ramps are provided outside the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

K4010.02 Barrier Free Entrances*

The main entrance meets barrier free requirements.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

K4010.03 Barrier Free Interior Circulation*

The interior circulation meets barrier free requirements.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

K4010.04 Barrier Free Washrooms*

Washrooms meeting barrier free requirements are provided in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

K4030.01 Asbestos*

No asbestos containing materials haven been reported or observed in the building.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2002	0	MAR-13

K4030.04 Mould*

Mold growth issues have been reported behind the tiles in the showers, but was not observed at time of assessment.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
3 - Marginal	2002	0	MAR-13

Event: Abate and remove mould

Concern:

Mold has been reported behind the wall tiles of the showers.

Recommendation:

Abate and remove mould pending the results of the study.

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Hazardous Materials Abatement	2013	\$7,500	Medium

Updated: MAR-13

Event: Study to identify present or potential mold

Concern:

Mold has been reported behind the wall tiles of the showers.

Recommendation:

Conduct study to identify present or potential mold growth in the shower rooms.

<u>Type</u>	<u>Year</u>	<u>Cost</u>	<u>Priority</u>
Study	2013	\$5,000	Medium

Updated: MAR-13

K5010.01 Site Documentation*

The prime consultant is GOLDER ASSOCIATES LTD.
 The evaluation date was December 18, 2012

Site description:

The Centennial Centre site is located on 46 Street about 2km south of Highway 53 near the town of Ponoka. The building is located in the south east corner of the campus.

An asphalt paved driveway network is provided to connect the buildings and parking lots amongst each other and to the main access road (46 Street S). The Parking lots and the buildings are connected via concrete pedestrian sidewalk and walkway system. The majority of the site is landscaped with grass, trees and shrubs.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2012	0	MAR-13

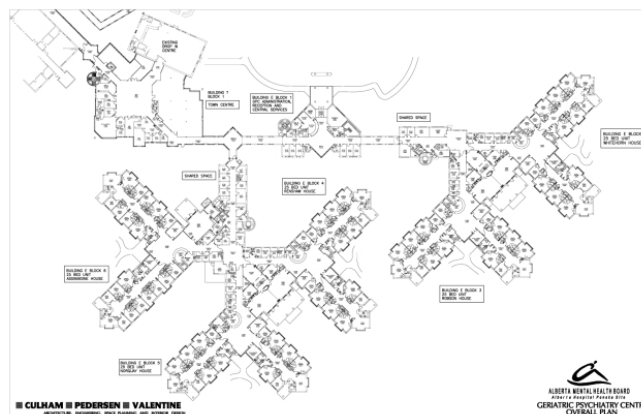


SiteOverview.jpg

K5010.02 Building Documentation*

The prime consultant is GOLDER ASSOCIATES LTD.
 The evaluation date was December 18, 2012
 The entire building was evaluated.

<u>Rating</u>	<u>Installed</u>	<u>Design Life</u>	<u>Updated</u>
4 - Acceptable	2012	0	MAR-13



Main Floor Plan